

## GENERAL NOTES

**GENERAL**

- The Contractor shall execute the work of this project in full compliance with the following code editions: 2019 CBC, 2019 CRC, 2019 CMC, 2019 CPC, 2019 CFC, 2019 CEC, 2019 Title 24 Energy Standards and the 2019 CA Green Building Standards Code, as amended by the City of Berkeley. The Contractor shall give all notices and comply with all applicable regulations, laws, ordinances and orders by any public authority having jurisdiction over the project. The contractor shall bring to the attention of the Architect in a timely fashion any discrepancies or conflicts between the requirements of applicable codes and the drawings of which the contractor is or becomes aware.
- These contract documents intend to describe a finished project ready for legal use.
- The Contractor shall study the contract documents and report to the Architect in writing all inconsistencies and omissions he finds prior to commencing work. The Contractor shall become familiar with the existing conditions of the site and project prior to commencing work. If the Contractor proceeds with any of the work without instructions from the Architect, where such instructions are required by the contract documents, the Contractor shall make good at his own cost any resulting error, damage, or defects.
- The owner will secure and pay for the building permit. The contractor will pay for all other permits (including any required sidewalk shed permits, parking or dumpster permits), licenses, inspections and the like required to effect the work of the contract documents through receipt of a certificate of occupancy.

**SITE CONDITIONS, SAFETY, PREPARATION, AND EXECUTION**

- The Contractor shall maintain a current copy of the CBC on site.
- The Contractor shall be responsible for initiating, maintaining, and supervising all safety precaution programs in connection with work, and for maintaining appropriate insurance to protect the Contractor, the Owner and the Architect.
- The Contractor shall erect and maintain temporary barricades and dust-proof partitions as needed for protection against nuisance and accident, and shall continuously maintain adequate protection of his work and the Owner's property from damage or loss arising in connection with the work of this project.
- The Contractor shall protect the adjacent properties and the public right-of-way, and shall be responsible for any damage or injury due to his neglect.
- The Contractor shall consult with representatives of applicable utilities, including but not limited to gas, water, power, sewer, telephone, and cable television, determine exact locations and availability of utilities, and determine conditions of existing service prior to commencing work. Prior to commencement of construction, the Contractor shall advise the Architect and Owner of unanticipated changes to the existing services required for the successful completion and operation of the project, if any.
- The Contractor shall protect improvements on the site, work in progress, and stored materials on the property from damage arising from the work, vandalism or theft, inclement weather, and from normal use of the site during the course of the work, whether by the contractor or any other party. All items damaged due to insufficient protection shall be fully restored to their prior condition by the Contractor at no cost to the owner.
- The Contractor must provide adequate shoring and bracing of the structure during construction, and shall maintain the shoring and bracing until the new permanent structure can provide adequate vertical and lateral support. No part of the structure shall be overloaded beyond its safe carrying capacity by the placing of materials, equipment, tools, machinery or any other items during the course of the contractor's work.
- The Owner shall pay for testing of any materials discovered on the site by the Architect, Owner or Contractor suspected of containing toxic substances requiring special removal and disposal. Changes to the contract resulting from the discovery, testing, or removal of such materials (if any) shall be effected by a change order.
- The Contractor will be responsible for any and all work provided by any and all subcontractors. General notes that refer to "Contractor" include all work provided by subcontractors. The Contractor and all subcontractors shall verify all grades, dimensions, and conditions in the field prior to the start of project, and at appropriate times during the course of construction before related project phases.
- Each subcontractor is considered a specialist in his respective field and shall, prior to the submission of his bid and the performance of work, notify the Contractor of any work called out in the construction documents which cannot be executed as indicated or cannot be fully guaranteed. The Contractor will then notify the Owner and Architect prior to acceptance of the subcontractor's bid.
- The Contractor is to provide samples of requested submittals and of all proposed material substitutions to the Architect for review. The Architect will require five working days for review of all submittals including shop drawings. Shop drawings and materials to the architect will have been reviewed and approved by the Contractor. By submitting shop drawings and submittals to the Architect, the Contractor represents that the Contractor has determined and verified material, field measurements, and field construction related thereto, and has checked and coordinated the information contained within such submittals with the requirements of the work and of the contract documents. The Architect's review of submittals and shop drawings is for confirmation of design intent only.
- At the completion of the work, the Contractor shall clean his and the surrounding area, remove all waste materials and rubbish from the project as well as his or her tools, construction equipment, machinery and surplus materials. The contractor shall remove putty and paint from all glass, mirrors, and wash and polish same; remove all labels, tags, grease, dirt, stains, etc. and clean all fixtures and equipment to the extent of restoring them to the original finish.

**DRAWING USE AND INTERPRETATION**

- The Contractor shall not scale drawings. If a dimension(s) conflicts or has been omitted, the Contractor shall bring this to the attention of the Architect in a timely fashion.
- The Architect has made the assumption that existing concealed conditions are standard. The Contractor shall perform all work necessary to complete the indicated construction. In the event that demolition reveals unexpected conditions, the Contractor must inform the Owner and Architect of anticipated change orders in advance.
- Dimensions are finish to finish unless noted otherwise.
- All materials, components, and systems shall be installed in strict accordance with manufacturers' specifications. The contractor shall verify dimensions and details of all project components. The contractor shall be responsible for installation clearances of all items, including but not limited to mechanical and electrical equipment and cabinet work, to be installed in the project.
- Any change, modification or interpretation of the scope or requirements of these documents, undertaken without consultation with the Architect (and any unforeseen conditions resulting therefrom) shall be the responsibility of the Owner or Contractor as the case may be. As stipulated in the Owner/Architect agreement, Andrew Lee Architecture shall be held harmless from any claims resulting from such activity.

**MATERIALS AND SYSTEMS**

- Sitework: existing irrigation system, site drainage, and exterior lighting to be repaired/revised as required by construction. Existing site features (landscaping, gates, low walls, etc.) that are taken down or modified as required by construction shall be restored to their original state.
- Recycling: the Contractor shall develop and follow procedures for recycling demolition and construction waste throughout the project. These procedures shall include identifying local salvage and recycling facilities, maintaining separate bins for recyclable materials on-site, and retaining records pertaining to amounts and types of materials recycled.

Where designs and specifications by a licensed engineer are part of the contract documents, they shall take precedence over items 24 - 26.

- Concrete: Concrete shall be proportioned in accordance with Section 1904 of the CBC and achieve a minimum ultimate compressive strength at 28 days of 2500 psi with 3/4" aggregate. *Flvash shall be used to replace a portion of cement in the concrete mix. The final ratio of flvash to cement shall be 1:3 minimum and 1:2 maximum. Reinforcing steel shall meet ASTM A615, Grade 60, bars #7 and smaller. Lap reinforcing steel a minimum of 40 bar diameters at splices unless noted otherwise. (24" for #4 and 30" for #5 bars.) Wire mesh shall meet ASTM 185. Structural Engineer shall approve all reinforcing in piers, grade beams and tie beams before concrete pour. Refer to structural drawings for additional notes.*
- Lumber: Posts & beams - D.F.#1 or Better, pressure-treated, no splits  
Exterior trim - Clear Heart Redwood, or as noted  
Interior trim - Paint grade D.F. or R.W., or as noted  
Framing lumber - D.F. #2 or better; all stair framing to be p.t.  
Decking and all guardrail components (rails, rail cap, posts) - Heart B or better redwood
- Connectors: Nails shall be Common, unless otherwise noted, sizes as indicated on the drawings. Framing connectors are as manufactured by the Simpson Co., San Leandro, CA, and shall be installed with the number and size of nails and/or bolts specified in the most current Simpson catalog. Minimum nailing to be per Table 23-I-Q of the latest edition of the CBC. Nails, bolts, washers and sheet metal connectors exposed to the weather to be hot-dipped galvanized or zinc chromium plated to resist rust. Bolts and anchor bolts shall conform to ASTM A307. All threaded rods shall have a yield stress of 36 ksi. Where nuts or bolts bear on wood, washers shall be placed between the nut or bolt and the wood. Refer to structural drawings for additional notes.
- Gypsum board walls and ceilings to be 1/2" min., taped with finish to match existing. Use moisture resistant "green" board in damp areas, cementitious backerboard in shower/tub niches. Reinforce exterior corners with metal bead. Screw gypsum board to framing unless noted otherwise.
- Electrical: All work to comply with all applicable codes and regulations. Reuse existing wiring where possible. All junction boxes to be accessible. All kitchen, bathroom, laundry, garage, and exterior outlets to be GFCI per N.E.C. Section 210-8. See lighting/power sheets for additional notes.
- Plumbing: All work to comply with all applicable codes and regulations. Include in work anything which may reasonably be construed as a necessary part of the plumbing installation whether or not specifically shown. Water supply piping to be sized by Code as necessary to supply all new fixtures, equipment, and hose bibbs in area of work. Waste and vent piping to be provided per Code. New sink, lavatory and shower fixtures to be flow-restriking type certified by the California Energy Commission. Hot water distribution piping shall be insulated. All shower valves to be of the pressure-balance, thermostatic mixing, or combination pressure-balance/thermostatic mixing valve type, conforming to ASSE 1016. Installer shall adjust valves per manufacturer's instructions to deliver a maximum mixed water setting of 120°F (CPC 418.0). Hose bibbs to have approved anti-siphon device. Provide a non-removable backflow prevention device or vacuum breaker device on all hose bibbs and irrigation systems per CPC 603.4.6. Verify location of all hose bibbs with owner.

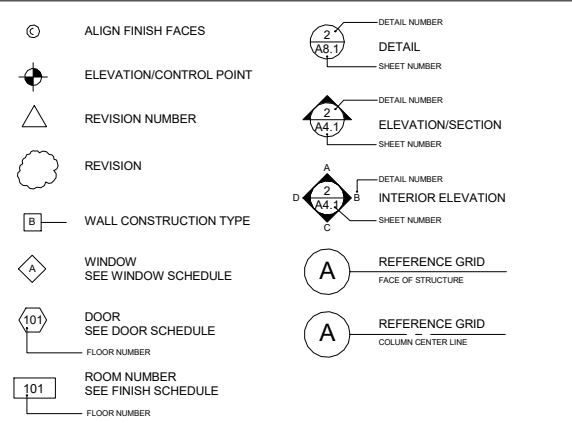
**Fixture flow rates**

- Water closets, whether flush tank, flush meter tank, or flush meter valve operated, shall have an average consumption of not more than 1.28 gallons of water per flush. CPC 402.2.
- Shower heads shall be designed and manufactured so that they will not exceed a water supply flow rate of 2.5 gallons per minute. CPC 402.1.1.
- Bathroom and kitchen faucets shall be designed and manufactured so that they will not exceed a water flow rate of 2.2 gallons per minute. CPC 402.1.2.
- Fire protection: Provide smoke detectors in bedrooms, hard-wired with battery backup. Openings around gas vents, ducts, pipes, chimneys, and fireplaces at the ceiling and floor level shall have fire blocking.

## ABBREVIATIONS

&	AND	JT.	JOINT
L	ANGLE	LAM.	LAMINATE
@	AT	LT.	LIGHT
CL	CENTER LINE		
#	POUND OR NUMBER		
d	PENNY	M.B.	MACHINE BOLT
		MAX.	MAXIMUM
ACOUS.	ACOUSTIC	MECH.	MECHANICAL
ADJ.	ADJUSTABLE	MEMB.	MEMBRANE
APPROX.	APPROXIMATE	MET./MTL.	METAL
A.F.F.	ABOVE FINISH FLOOR	MFR.	MANUFACTURER
ALT.	ALTERNATE	MIN.	MINIMUM
ALUM.	ALUMINUM	MISC.	MISCELLANEOUS
A.B.	ANCHOR BOLT	M.O.	MASONRY OPENING
		MTD.	MOUNTED
BD.	BOARD	MUL.	MULLION
BITUM.	BITUMINOUS		
BLDG.	BUILDING	(N)	NEW
CL.	CERAMIC TILE	N	NORTH
BLK'G.	BLOCKING	N.I.C.	NOT IN CONTRACT
B.O.T.	BOTTOM OF TRUSS	NO.	NUMBER
BR5	BACKER ROD AND SEALANT	N.T.S.	NOT TO SCALE
		O/	OVER
CLG.	CEILING	O.C.	ON CENTER
C.T.	CERAMIC TILE	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
CL'G.	CAULKING		
CLR.	CLEAR	P. LAM.	PLASTIC LAMINATE
CONC.	CONCRETE	PLYWD.	PLYWOOD
CONN.	CONNECTION	P.T.	PRESSURE-TREATED
CONSTR.	CONSTRUCTION	PTD.	PAINTED
C.J.	CONTROL JOINT	PTN.	PARTITION
CONT.	CONTINUOUS		
CTS'K.	COUNTERSUNK		
CMU	CONCRETE MASONRY UNIT	Q.T.	QUARRY TILE
		R.	RISER
D	DEPTH	RAD.	RADIUS
DBL	DOUBLE	REF.	REFRIGERATOR
DET./DTL.	DETAIL	REINF.	REINFORCED
D.F.	DOUGLAS FIR	REQ.	REQUIRED
DIA.	DIAMETER	RESIL.	RESILIENT
DIM.	DIMENSION	RM.	ROOM
DN.	DOWN	R.O.	ROUGH OPENING
DWG.	DRAWING	RWD.	REDWOOD
		RWL.	RAINWATER LEADER
EA.	EACH	SQ. FT.	SQUARE FEET
ELEC.	ELECTRICAL	SHT.	SHEET
ELEV.	ELEVATION	SQ. IN.	SQUARE INCH
E.P.	ELECTRICAL PANEL	SIM.	SIMILAR
EQ.	EQUAL	S.L.D.	SEE LANDSCAPE DRAWING
(E)	EXISTING	S.M.D.	SEE MECHANICAL DRAWING
EXP.JT.	EXPANSION JOINT	SPEC.	SPECIFICATIONS
EXT.	EXTERIOR	SQ.	SQUARE
		S.S.	STAINLESS STEEL
F.D.	FLOOR DRAIN	STD.	STANDARD
F.E.	FIRE EXTINGUISHER	STL.	STEEL
F.F.	FINISH FLOOR	STOR.	STORAGE
F.F.E.	FINISH FLOOR ELEVATION	S.S.D.	SEE STRUCTURAL DRAWING
FIN.	FINISH		
FL.	FLOOR	TEL.	TELEPHONE
F.O.C.	FACE OF CONCRETE	T&G	TONGUE AND GROOVE
F.O.F.	FACE OF FINISH	T.	TREAD
F.O.M.	FACE OF MASONRY	THK.	THICK
F.O.S.	FACE OF STUD	TYP.	TYPICAL
F.O.SH.	FACE OF SHEATHING	T.O.	TOP OF
FT.	FOOT	T.O.C.	TOP OF CONCRETE
FTG.	FOOTING	T.O.O.	TOP OF OUTRIGGER
FURR.	FURRING	T.O.P.	TOP OF PLATE
		T.O.S.	TOP OF SLAB
GA.	GAUGE	T.O.T.	TOP OF TRUSS
G.C.	GENERAL CONTRACTOR		
GL.	GLASS	U.O.N.	UNLESS OTHERWISE NOTED
GSM.	GALVANIZED SHEET METAL		
GYP. BD./	GYPSTUM WALL BOARD	VERT.	VERTICAL
GWB.		V.I.F.	VERIFY IN FIELD
		V.G.	VERTICAL GRAIN
H	HEIGHT	W	WIDTH
H.B.	HOSE BIB	W/	WITH
H.C.	HOLLOW CORE	WD.	WOOD
HDWD.	HARDWOOD	WDW	WINDOW
HDWR.	HARDWARE	W/O	WITHOUT
HORIZ.	HORIZONTAL	WP	WATERPROOF
HR.	HOUR	WRC	WESTERN RED CEDAR
HW	HARDWOOD		
IN.	INCH		
INT.M.	INTERMEDIATE		
INSUL.	INSULATION		
INT.	INTERIOR		

## SYMBOL LEGEND



## CODE SUMMARY

**PROJECT ADDRESS:** 624 Rice St  
**APN:** 013370043

**ZONING CODE ANALYSIS**  
(BASED ON THE BRENTWOOD MUNICIPAL ZONING CODE)

**ZONING:** PD-30  
**LOT AREA:** 5100 SQ.FT  
**EXISTING OCCUPANCY:** SINGLE FAMILY RESIDENCE  
**CONSTRUCTION TYPE:** VB

	ALLOWABLE	EXISTING	PROPOSED
<b>HEIGHT:</b>	30'-0"	24'-0"	NO CHANGE
<b># OF STORIES:</b>	2 STORY	2 STORY	NO CHANGE
<b>LOT COVERAGE:</b>	40%	38%	39%

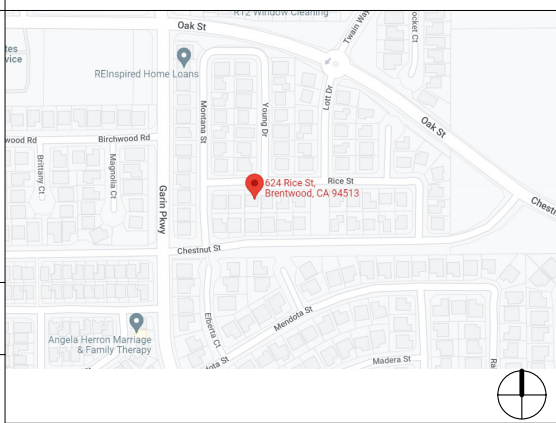
**SETBACKS:**

	ALLOWABLE	EXISTING	PROPOSED
<b>FRONT:</b>	20'-0"	24' - 5 1/8"	NO CHANGE
<b>LEFT SIDE:</b>	5'-0"	5' - 1 3/4"	NO CHANGE
<b>RIGHT SIDE:</b>	5'-0"	8' - 9 13/32"	NO CHANGE
<b>REAR:</b>	20'-0"	24' - 4"	NO CHANGE

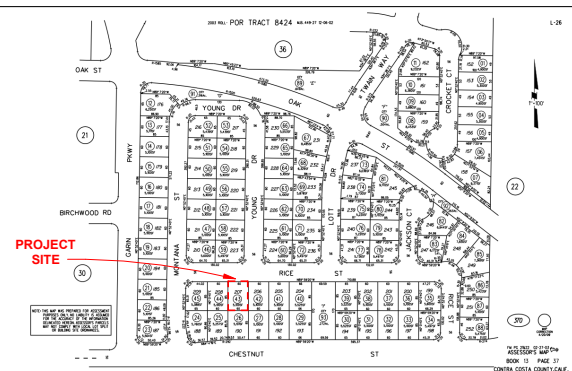
## DRAWING INDEX

SHEET NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	EXISTING SITE PLAN
A0.2	NEW SITE PLAN
A1.0	EXISTING/DEMO FLOOR PLANS
A1.1	EXISTING ELEVATIONS
A2.0	NEW FLOOR PLANS
A3.0	NEW ELEVATIONS

## VICINITY MAP



## ASSESSORS MAP



## PROJECT DIRECTORY

**CONTRACTOR:**  
**Meir Construction**  
3756 Grand Avenue #104,  
Oakland, CA, 94601  
Lic. #717195

**SRUCTURAL ENGINEER:**  
**TBD**

**DESIGNER:**  
Jonathan Cruz  
**Crux Collaborative Architecture**  
2530 Hillegass Avenue, #211  
Berkeley, CA, 94704  
p: (510) 301-5537  
e: jonathan@cruzcollaborative.com

## PROJECT SCOPE

ADD A NEW 77 SQ.FT BEDROOM

ADDITION

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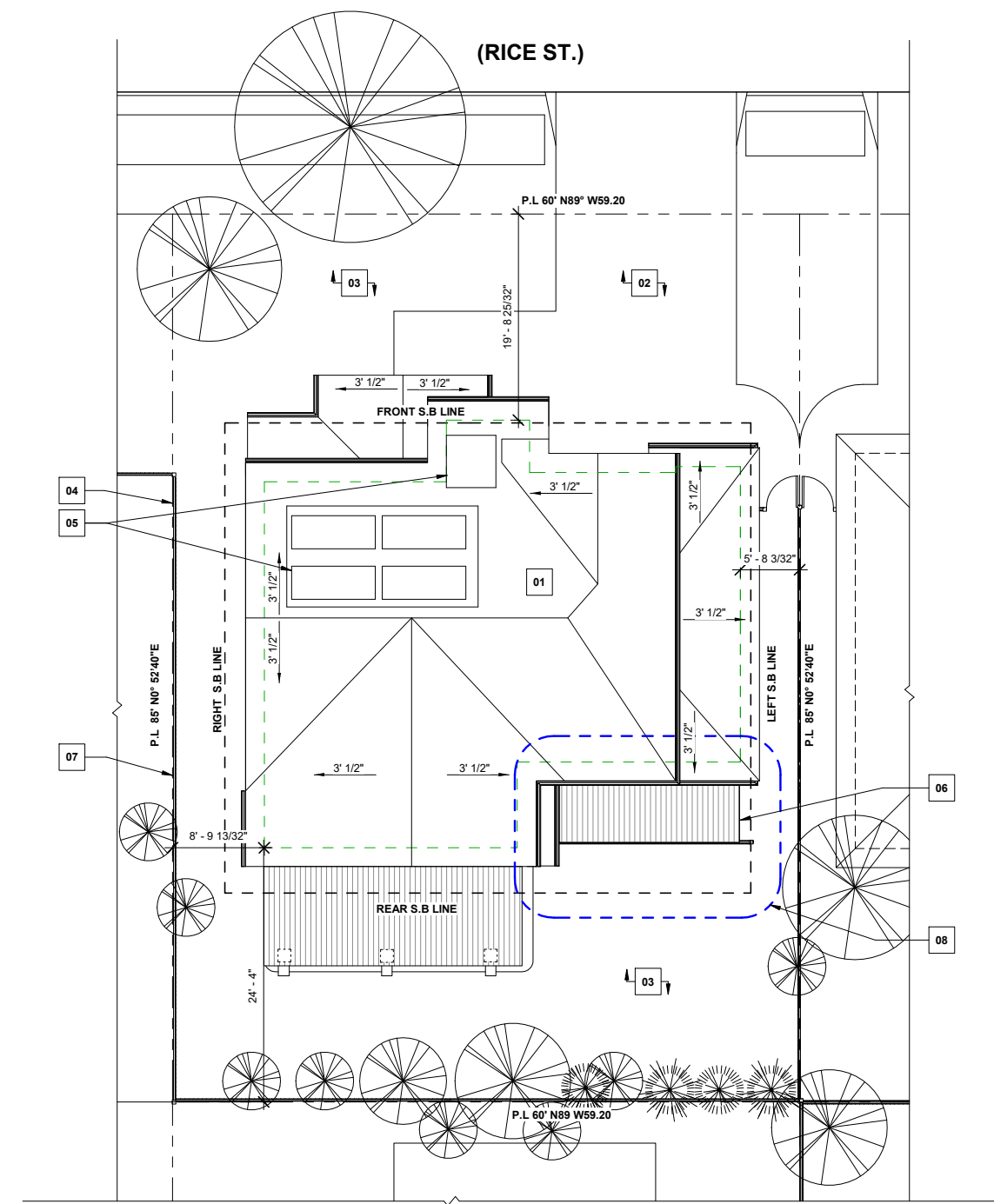
**PROGRESS SET**

**COVER SHEET**

Scale:

**A0.0**

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KEYNOTES

- |                           |                       |                      |
|---------------------------|-----------------------|----------------------|
| 01 PRIMARY UNIT           | 04 (E) 6' WOOD FENCE  | 07 (E) 6' WOOD FENCE |
| 02 (E) CONG. DRIVEWAY     | 05 (E) PV SOLAR PANEL | 08 AREA OF WORK      |
| 03 (E) EXISTING LAWN AREA | 06 DEMO (E) WOOD ROOF |                      |

LEGEND



**1** EXISTING SITE PLAN  
A0.1 1/8" = 1'-0"

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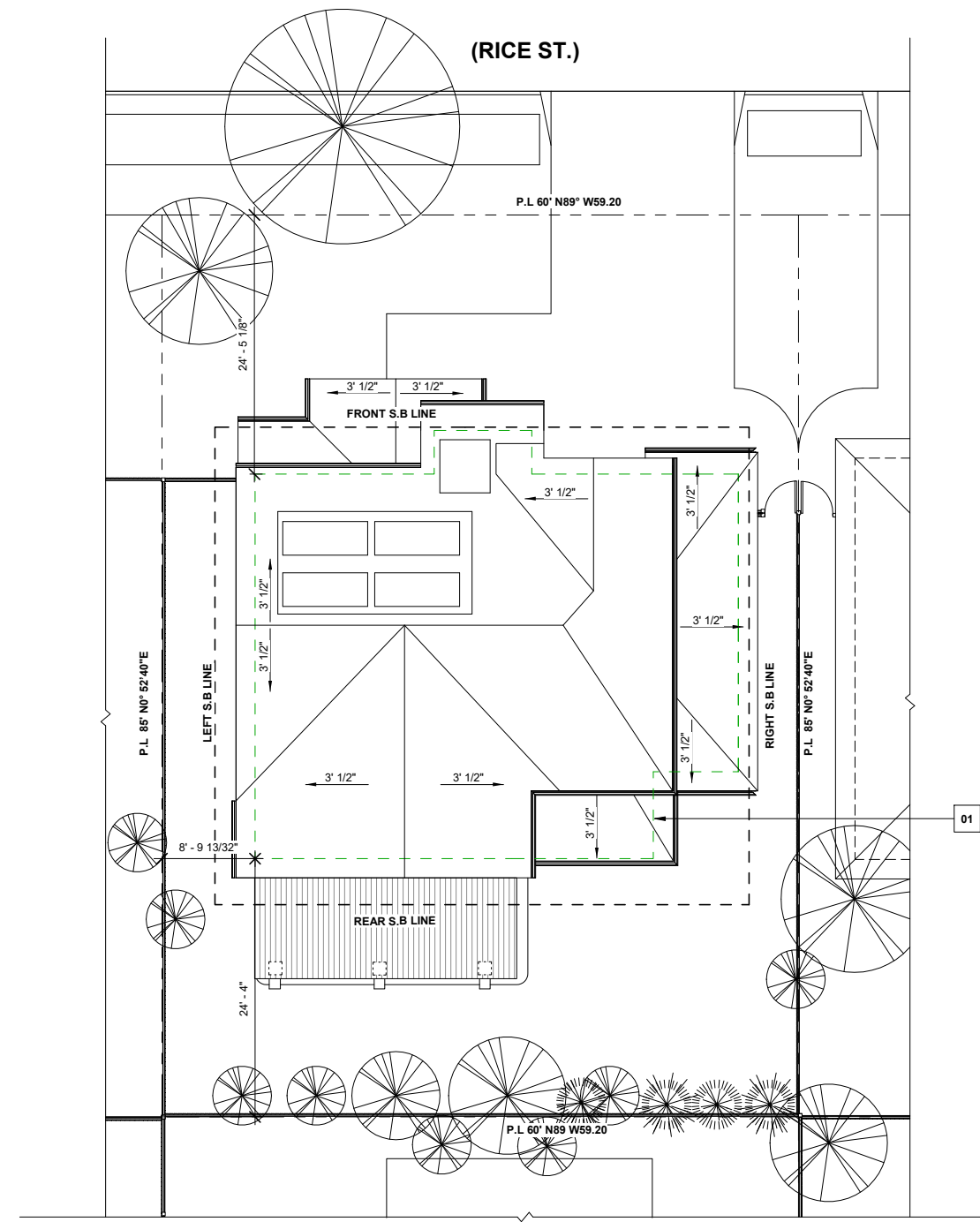
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**EXISTING SITE PLAN**

Scale: As indicated

**A0.1**

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KEYNOTES

01 (N) ROOF

1 NEW SITE PLAN  
A0.2 1/8" = 1'-0"

LEGEND



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**PROGRESS SET**

NEW SITE PLAN

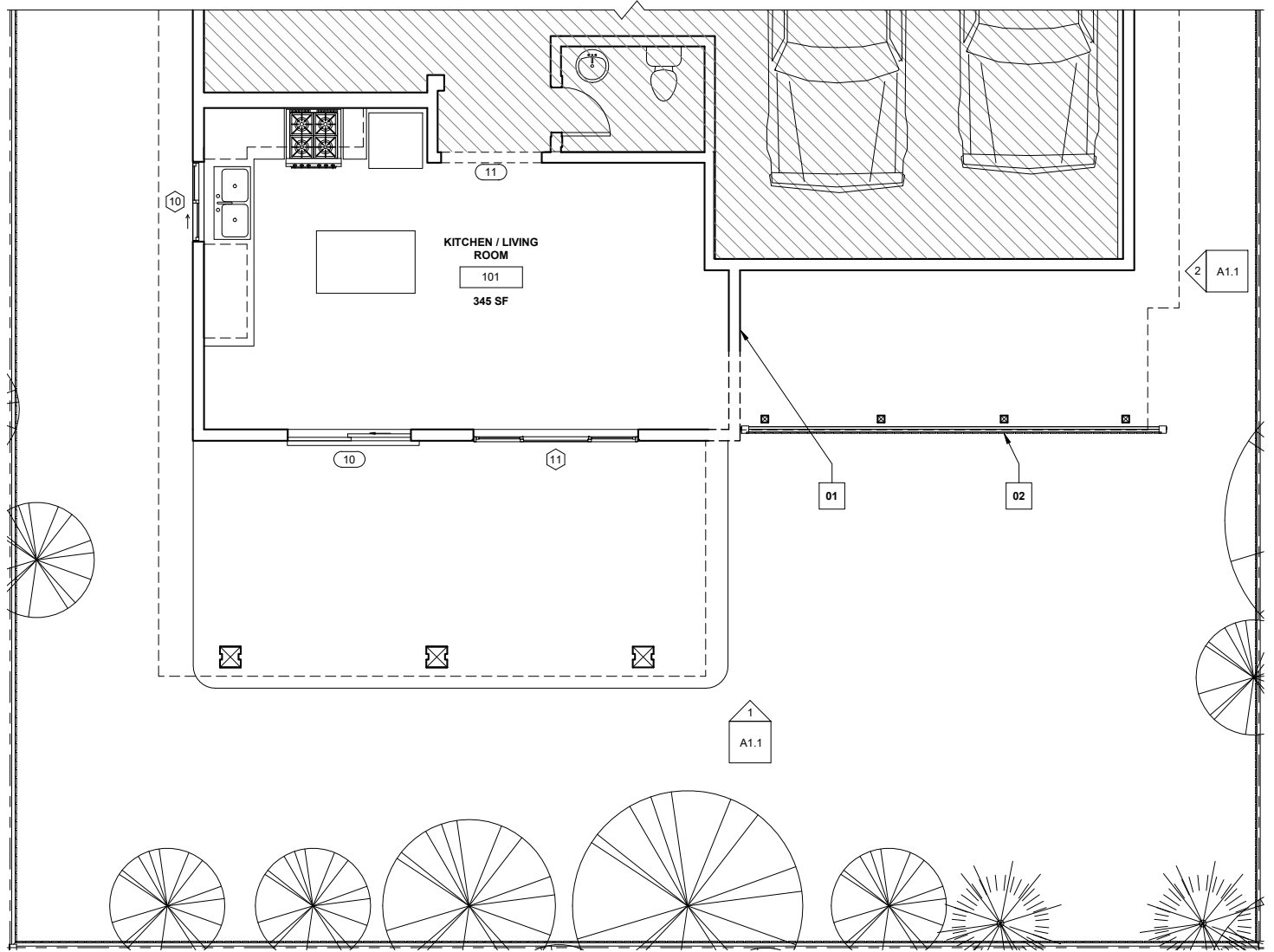
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


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EXISTING DOOR SCHEDULE			
Door Number	Width	Height	Finish Comments
10	5' - 11"	7' - 0"	71X84 SLIDING DOOR
11	0' - 0"	0' - 0"	OPEN SPACE

EXISTING WINDOW SCHEDULE								
MARK	WINDOW SIZE		HEAD HEIGHT	WINDOW TYPE	MATERIAL	GLAZING		COMMENTS
	WIDTH	HEIGHT				TYPE	TYPE	
10	3' - 10"	5' - 0"	7' - 9"	SLIDING	VINYL	DOUBLE PANE		
11	7' - 10 1/2"	5' - 0"	7' - 0"	SLIDER-FIXED-SLIDER	VINYL	DOUBLE PANE		



- KEYNOTES**
- 01** DEMO (E) EXT. WALL
  - 02** DEMO (E) 4' FENCE

- LEGEND**
-  EXISTING WALL
  -  DEMOLISHED WALL
  -  NOT IN SCOPE OF WORK

**1** EXISTING MAIN LEVEL  
A1.0 1/4" = 1'-0"

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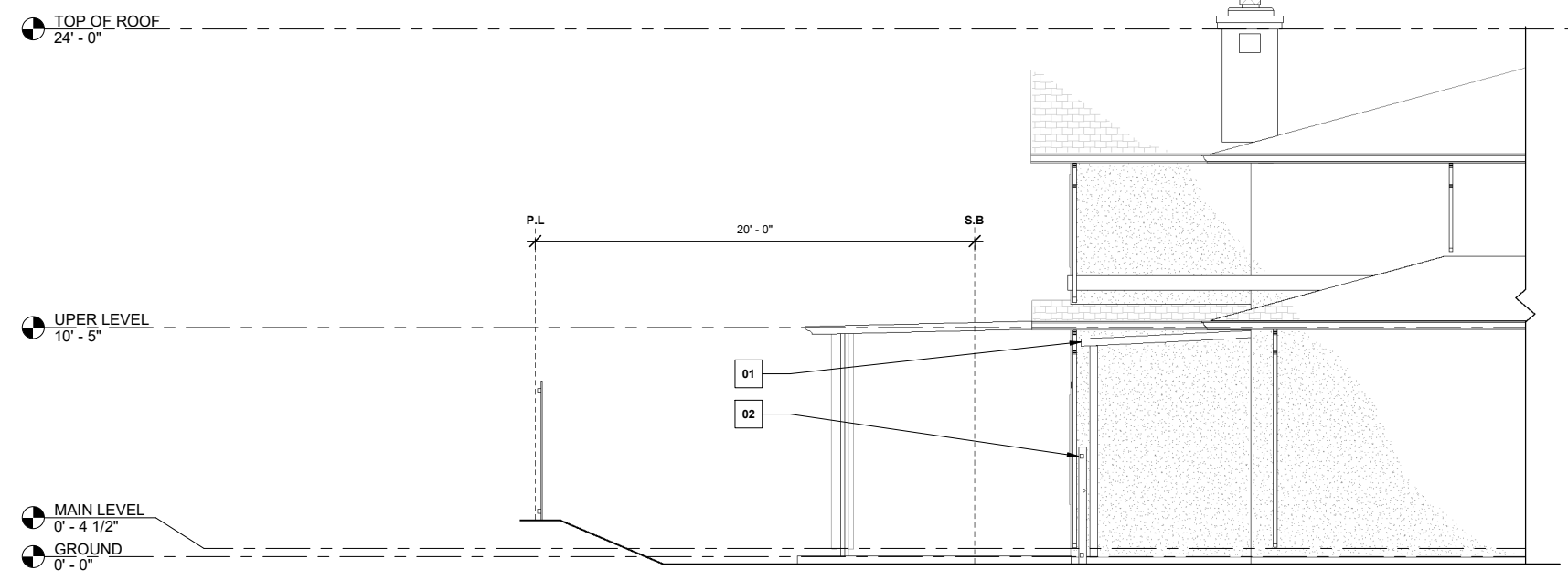
**PROGRESS SET**

**EXISTING/DEMO FLOOR PLANS**

Scale: 1/4" = 1'-0"

**A1.0**

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- KEYNOTE LEGEND**
- 01 DEMO (E) ROOF STRUCTURE
  - 02 DEMO (E) WOOD FENCE
- LEGENDS**
- WOOD SHINGLES, TYP.
  - STUCCO, TYP.

**2 EXISTING EAST ELEVATION**  
A1.1 1/4" = 1'-0"



- KEYNOTE LEGEND**
- 01 DEMO (E) ROOF STRUCTURE
  - 02 DEMO (E) WOOD FENCE
- LEGENDS**
- CLAY SHINGLES, TYP.
  - STUCCO, TYP.

**1 EXISTING SOUTH ELEVATION**  
A1.1 1/4" = 1'-0"

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**PROGRESS SET**  
**EXISTING ELEVATIONS**

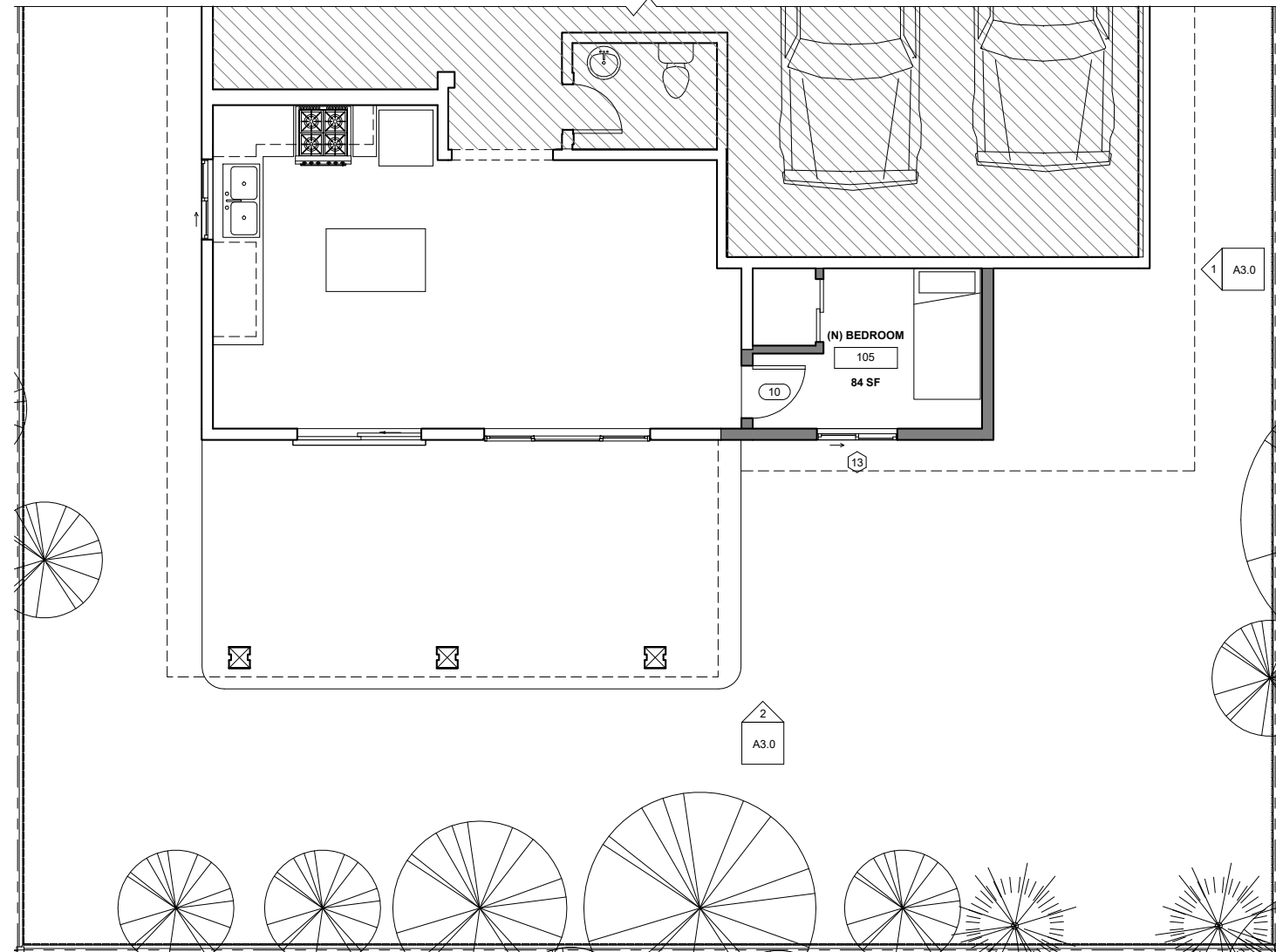
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**A1.1**

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NEW DOOR SCHEDULE			
Door Number	Width	Height	Finish Comments
10	2' - 6"	6' - 8"	
12	3' - 0"	6' - 8"	





NEW WINDOW SCHEDULE							
MARK	WINDOW SIZE		HEAD HEIGHT	WINDOW TYPE	Material	GLAZING TYPE	COMMENTS
	WIDTH	HEIGHT					
13	3' - 10"	5' - 0"	7' - 4 3/4"	SLIDING			



KEYNOTES

01

LEGEND

-  EXISTING WALL
-  DEMOLISHED WALL
-  NOT IN SCOPE OF WORK
-  NEW WALL

1  
A2.0  
NEW MAIN LEVEL  
1/4" = 1'-0"

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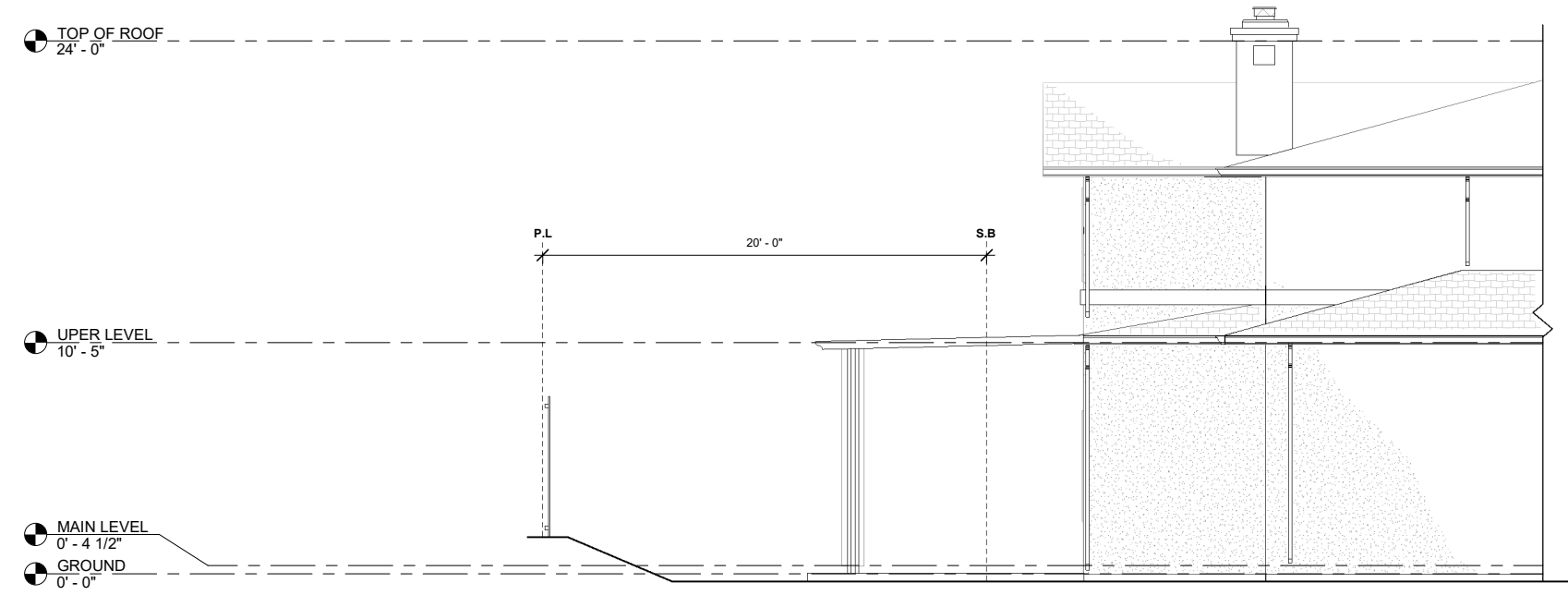
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NEW FLOOR PLANS

Scale: 1/4" = 1'-0"

**A2.0**

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**KEYNOTE LEGEND**

01

**LEGENDS**

WOOD SHINGLES, TYP.    STUCCO, TYP.

**1 NEW EAST ELEVATION**  
A3.0 1/4" = 1'-0"



**KEYNOTE LEGEND**

01 (N) ADDED BEDROOM. EXT. FIN. TO MATCH EXISTING.

**LEGENDS**

WOOD SHINGLES, TYP.    STUCCO, TYP.

**2 NEW SOUTH ELEVATION**  
A3.0 1/4" = 1'-0"

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**PROGRESS SET**

**NEW ELEVATIONS**

Scale: 1/4" = 1'-0"

**A3.0**

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